



Kingsmead Court, Littleport, CB6 1LR

**CHEFFINS**



## Kingsmead Court

Littleport,  
CB6 1LR

Semi detached house in a cul-de-sac location. Accommodation comprises entrance hall, kitchen/dining room, living room, two bedrooms and a bathroom. The property has an enclosed rear garden, garage and driveway parking. Available: 15/04/25. Minimum 6 month term. Deposit: £1096. Holding fee: £219. Council tax band: B. EPC: C

### LOCATION

Littleport has a good range of shopping, schooling, health and day to day amenities and facilities with a further more comprehensive range of facilities available at Ely (approximately 6 miles to the South). Littleport offers a mainline rail station to London via Cambridge (20 miles) which is supported by a major road network providing access to surrounding provincial centres.

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£950 PCM





## ENTRANCE HALL

## KITCHEN/DINING ROOM

with oven, gas hob, extractor, space for fridge/freezer, plumbing for washing machine and French doors to the garden.

## LIVING ROOM

with under stair storage cupboard.



## BEDROOM

with built in wardrobes and storage cupboard housing the boiler.

## BEDROOM

## BATHROOM

with white three piece suite and shower attachment to the bath mixer tap.




## OUTSIDE

Enclosed rear garden with patio area, garage and driveway.

## LETTING AGENTS NOTES

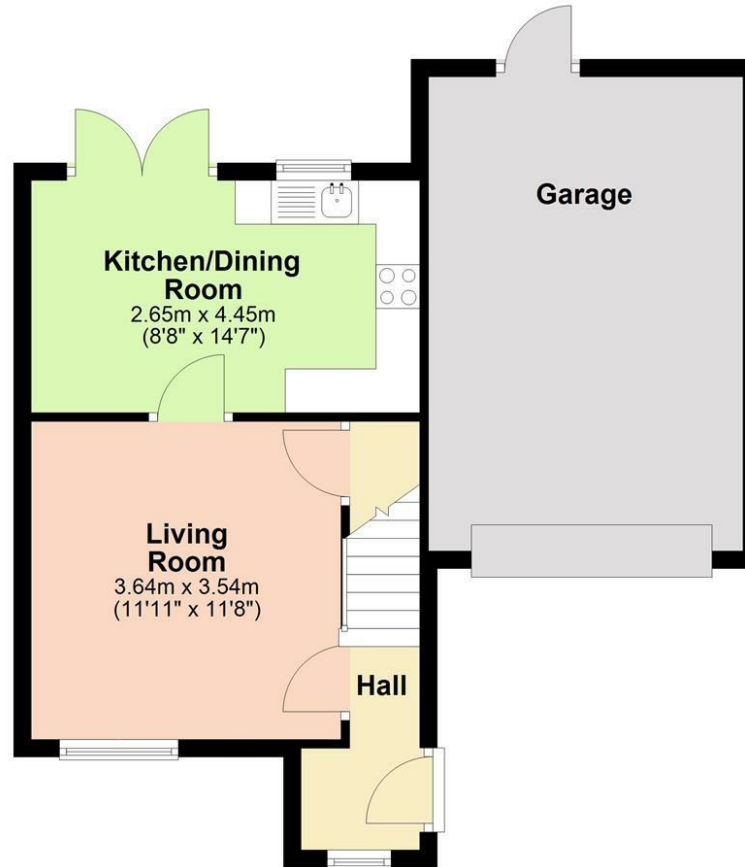
For more information on this property please refer to the Material Information brochure on our Website.



Energy Efficiency Rating		
	Current	Potential
Very energy efficient - lower running costs		
(92 plus) <b>A</b>		<b>87</b>
(81-91) <b>B</b>		
(69-80) <b>C</b>	<b>71</b>	
(55-68) <b>D</b>		
(39-54) <b>E</b>		
(21-38) <b>F</b>		
(1-20) <b>G</b>		
Not energy efficient - higher running costs		
<b>England &amp; Wales</b>	EU Directive 2002/91/EC	

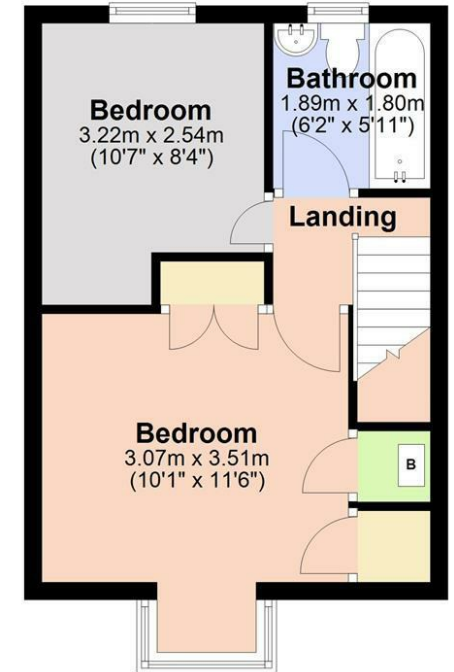
## Ground Floor

Approx. 30.1 sq. metres (324.2 sq. feet)



## First Floor

Approx. 28.9 sq. metres (310.6 sq. feet)



Total area: approx. 59.0 sq. metres (634.8 sq. feet)

### Agents note:

For more information on this property please refer to the Material Information Brochure on our website.

25 Market Place, Ely, Cambridgeshire, CB7 4NP | 01353 663144 | cheffins.co.uk

IMPORTANT: we would like to inform prospective purchasers that these sales particulars have been prepared as a general guide only. A detailed survey has not been carried out, nor the services, appliances and fittings tested. Room sizes should not be relied upon for furnishing purposes and are approximate. If floor plans are included, they are for guidance only and illustration purposes only and may not be to scale. If there are any important matters likely to affect your decision to buy, please contact us before viewing the property.

